



DRAFT PLANNING COMMISSION

ZOOM MEETING

Tuesday, October 27, 2020

MEMBERS: Andrew Sutton (Chair), Frank Kutilek (Second), Alan Bess (Secretary), Jeff Campbell, Justin Lurk, Chad Miller, Del Williams, Phillip Hogan, Brian McArthur (Council Liaison). **STAFF:** Robert Sweeney (City Attorney), David Bookless (Community Development Director), Christie Hull Bettale (Community Development Engineer)

REGULAR SESSION

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF MINUTES: *October 13, 2020*
4. PUBLIC HEARINGS
5. SITE PLANS, PLATS, OTHER BUSINESS:
 - a. **PC-2020-23 TIMBERLINE TREE CARE, INC (SITE PLAN REVIEW)** A request to review and approve the proposed Site Plan for Timberland Tree Care, INC building and site improvements located on a parcel within the "M-2" Industrial Zoning district.
6. ADJOURNMENT OF REGULAR SESSION

EXECUTIVE SESSION

7. NEW BUSINESS:
 - a. **PC-2020-23 TIMBERLINE TREE CARE, INC (SITE PLAN REVIEW)** A request to review and approve the proposed Site Plan for Timberland Tree Care, INC building and site improvements located on a parcel within the "M-2" Industrial Zoning district. *The Planning Commission may vote on this item tonight.*
8. ANNOUNCEMENTS
9. ADJOURNMENT OF EXECUTIVE SESSION

NOTE: In response to the COVID-19 concerns, all members of the Planning Commission will be participating in the hearing remotely via Zoom as permitted by state statute and city resolution. If you have any questions regarding these requests, please contact the Community Development Department at 636-282-2378 and/or attend the public hearing by following the link and instructions below:

Planning Commission Meeting

To join by computer, tablet, smartphone, etc. (video and/or audio): <https://zoom.us/join>

Meeting ID: 821 0269 7432 Passcode: 807518

To join by telephone (audio only): 1-312-626-6799

Meeting ID: 821 0269 7432 Passcode: 807518

During the hearing, your microphone will be muted. While you are not obligated to speak, attendees will be recognized and given the opportunity to do so. Please be advised that all speakers are expected to exhibit civility and decorum or risk being removed from the meeting.



PLANNING COMMISSION MEETING CONDUCTED VIRTUALLY OCTOBER 13, 2020

MINUTES

Due to Federal, state, county, and municipal emergency orders related to the coronavirus (COVID-19) pandemic, this meeting was conducted virtually in compliance with applicable regulations.

REGULAR SESSION

1. **CALL TO ORDER:** The regular meeting of the Arnold Planning Commission was called to order by Chairman Andrew Sutton at 7:05 p.m.
2. **ROLL CALL OF COMMISSIONERS:** Steve Buss, Phillip Hogan (*Excused*), Justin Lurk, John Tucker, Jeff Campbell, Frank Kutilek (*Excused*), Del Williams, Brian McArthur, Alan Bess, Andrew Sutton. **STAFF PRESENT:** David Bookless (Community Development Director), Sarah Turner (Planner), Robert Sweeney (City Attorney).
3. **APPROVAL OF MINUTES:** Motion by Jeff Campbell to approve the minutes from the August 11, 2020 meeting. Second by Del Williams. *Voice vote:* Unanimously approved.
4. **PUBLIC HEARINGS:**
 - a. **PC-2020-17 ZONING ORDINANCE REORGANIZATION (TEXT AMENDMENT):** Director Bookless presented the staff report. The Commission had no questions and offered appreciation of the ordinance. There were no comments from the public.
 - b. **PC-2020-18 KFC MVOE (CUP):** Planner Turner presented the staff report and recommended favorable consideration of the application subject to conditions contained in the report. The Commission had no questions. The applicant's representative, Brian Nolan, expressed general agreement with the staff's recommendations, but sought some clarification on particular issues with each. Turner provided clarification to the applicant's satisfaction. Commissioner Bess and Commissioner Campbell asked about some of the pavement markings and Commissioner Buss asked about the drive-through lane width as it passed by some parking spaces. Turner clarified the requirements to their satisfaction. There were no comments from the public.
5. **SITE PLANS, PLATS, OTHER BUSINESS:**
 - a. **PC-2020-19 743 LOUISA DR (FENCE APPEAL):**

Planner Turner presented the Staff Report. Turner concluded her presentation by recommending favorable consideration of the application subject to conditions contained in the report:

The applicant had nothing to add to the discussion. There were no comments from the public.

Mr. Sutton asked whether the fence would create any site distance issues for drivers. Turner stated it would not.
6. **ADJOURNMENT OF REGULAR SESSION:** Adjourned by Mr. Sutton at 7:32 p.m.

EXECUTIVE SESSION

7. **NEW BUSINESS:**

- a. **PC-2020-17 ZONING ORDINANCE REORGANIZATION (TEXT AMENDMENT):** Motion by Mr. Campbell to recommend approval to the Council as submitted by staff. Second by Mr. Williams. No further discussion.

Roll call vote: Sutton, yes; Bess, yes; McArthur, yes; Williams, yes; Campbell, yes; Tucker, yes; Lurk, yes; Buss, yes. 8 yeas. – Motion Approved.

- b. **PC-2020-18 KFC MVOE (CUP):** Motion by Mr. Campbell to recommend approval to the Council as submitted by staff. Second by Mr. Williams. No further discussion.

Roll call vote: Buss, yes; Lurk, yes; Tucker, yes; Campbell, yes; Williams, yes; McArthur, yes; Bess, yes; Sutton, yes. 8 yeas. – Motion Approved.

- c. **PC-2020-19 743 LOUISA DR (FENCE APPEAL):** Motion by Mr. Campbell to approve as submitted by staff. Second by Mr. Williams. No further discussion.

Roll call vote: Sutton, yes; Bess, yes; McArthur, yes; Williams, yes; Campbell, yes; Tucker, yes; Lurk, yes; Buss, yes. 8 yeas. – Motion Approved.

8. **ADJOURNMENT:** Motion by Mr. Campbell to adjourn. Second by Mr. Williams. Voice Vote – Unanimously approved. Meeting adjourned at 7:42 p.m.

Respectfully Submitted,

Alan Bess
Planning Commission Secretary



REPORT TO PLANNING COMMISSION

CITY OF ARNOLD

APPLICATION NUMBER: 2020-21

APPLICATION NAME: TIMBERLINE TREE CARE, INC (SITE PLAN REVIEW)

Kent Nurnberger
Grimes Consulting
12300 Old Tesson Rd
Suite 300D
St Louis MO 63128

APPLICANT NAME:

Prepared For:
Ben Barnett
Timberline Tree Care, INC
3670 Rice Road
Pevely, MO 63070

PROPERTY OWNER NAME: Custom Commercial Warehouse CO
3475 E Rock Creek Rd
Imperial MO 63052

APPLICANT'S REQUEST: An application for Site Plan approval for a tree care service company.

STREET ADDRESS: Arnold Tenbrook Rd, Arnold MO 63010

SITE LOCATION: Arnold Tenbrook near Intagliata Dr (JK Miller Lot 1)

PARCEL ID: 01-8.0-28.0-4-002-009

TOTAL SITE AREA: 1.53 acres

EXISTING ZONING: "M-2" Industrial District

MEETING DATE: October 27, 2020

REPORT DATE: October 16, 2019

FILE MANAGER: Christie Hull-Bettale

RECOMMENDATION: **APPROVAL of Site Plan with Conditions**



REPORT TO PLANNING COMMISSION

CITY OF ARNOLD

DESCRIPTION OF EXISTING SITE CONDITIONS

The 1.53 acre tract is Lot 1 of JK Miller Industrial Subdivision. The property is located near the intersection of Intagliata Dr. at Arnold Tenbrook Road and the lot is currently undeveloped.

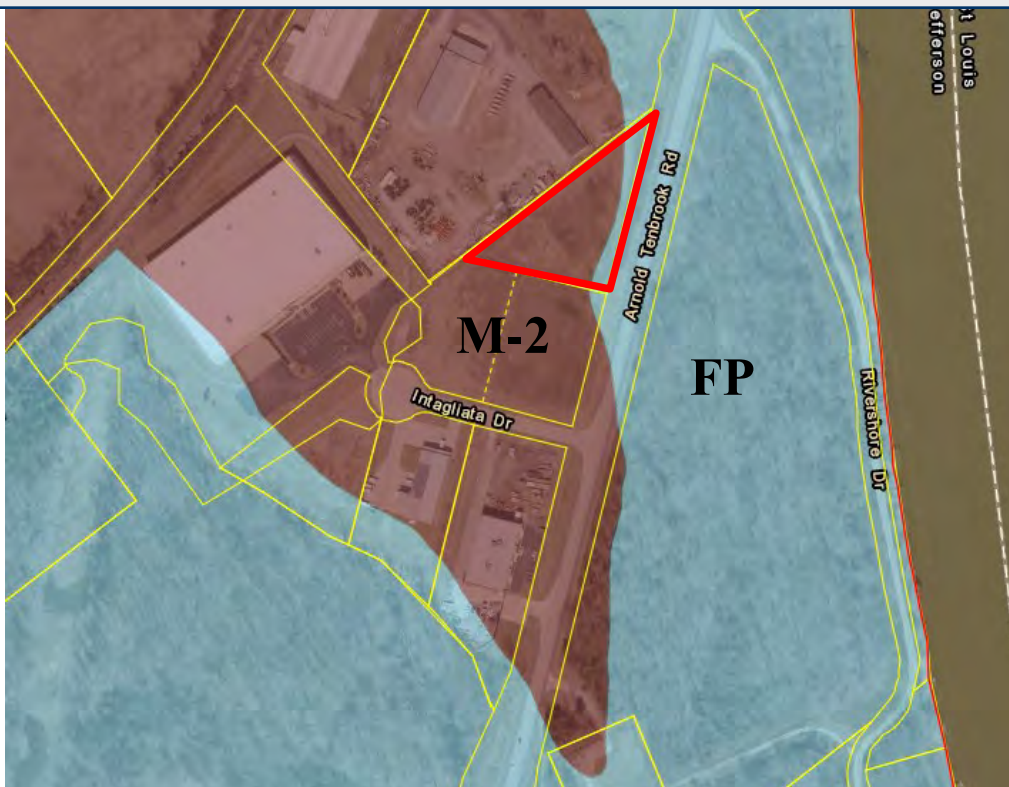
SITE HISTORY

The JK Miller Industrial Subdivision was approved in 2005 consisting of 7 Lots. The Zoning District is mostly “M-2” Industrial, with a small portion at the northeast side zoned “FP” Floodplain.

LAND USE AND ZONING CONTEXT MATRIX

DIRECTION	EXISTING LAND USE	ZONING DISTRICT	COMMENTS
North	Industrial	M-2	Perkins Contracting -Developed Industrial
East	City Right of Way	NA	City Street, Arnold Tenbrook Road
South	Industrial	M-2	Fogarty Services—Developed Industrial
West	Industrial	M-2	Perkins Contracting -Developed Industrial

ZONING MAP



REPORT TO PLANNING COMMISSION

CITY OF ARNOLD



COMMERCIAL SITE PLAN PROPOSAL

The applicant is seeking review and approval of a proposed Industrial District Site Plan to include a 2,520 sq. ft. building .

ZONING CONSISTENCY REVIEW

A consistency review of the Application of District Regulations , as they relate to the current request, follows:

Application of District Regulations

Non-residential buildings, structures and/or land must receive site plan approval from the Planning Commission before they are constructed, reconstructed, moved, erected, enlarged or land altered.

CITY PLANNER'S COMMENTS

Satisfied: The proposal is for a property zoned M-2 Industrial and the use, tree care service, office, warehouse and storage are uses that are allowed within this district, conditioned that zoning and other requirements are met.

LOCATION MAP:





REPORT TO PLANNING COMMISSION

CITY OF ARNOLD

STREET VIEW OF PROPERTY



View from Arnold Tenbrook (Fogarty on the Left)



View from Arnold Tenbrook Rd (Temporary Drive location)

REPORT TO PLANNING COMMISSION

CITY OF ARNOLD

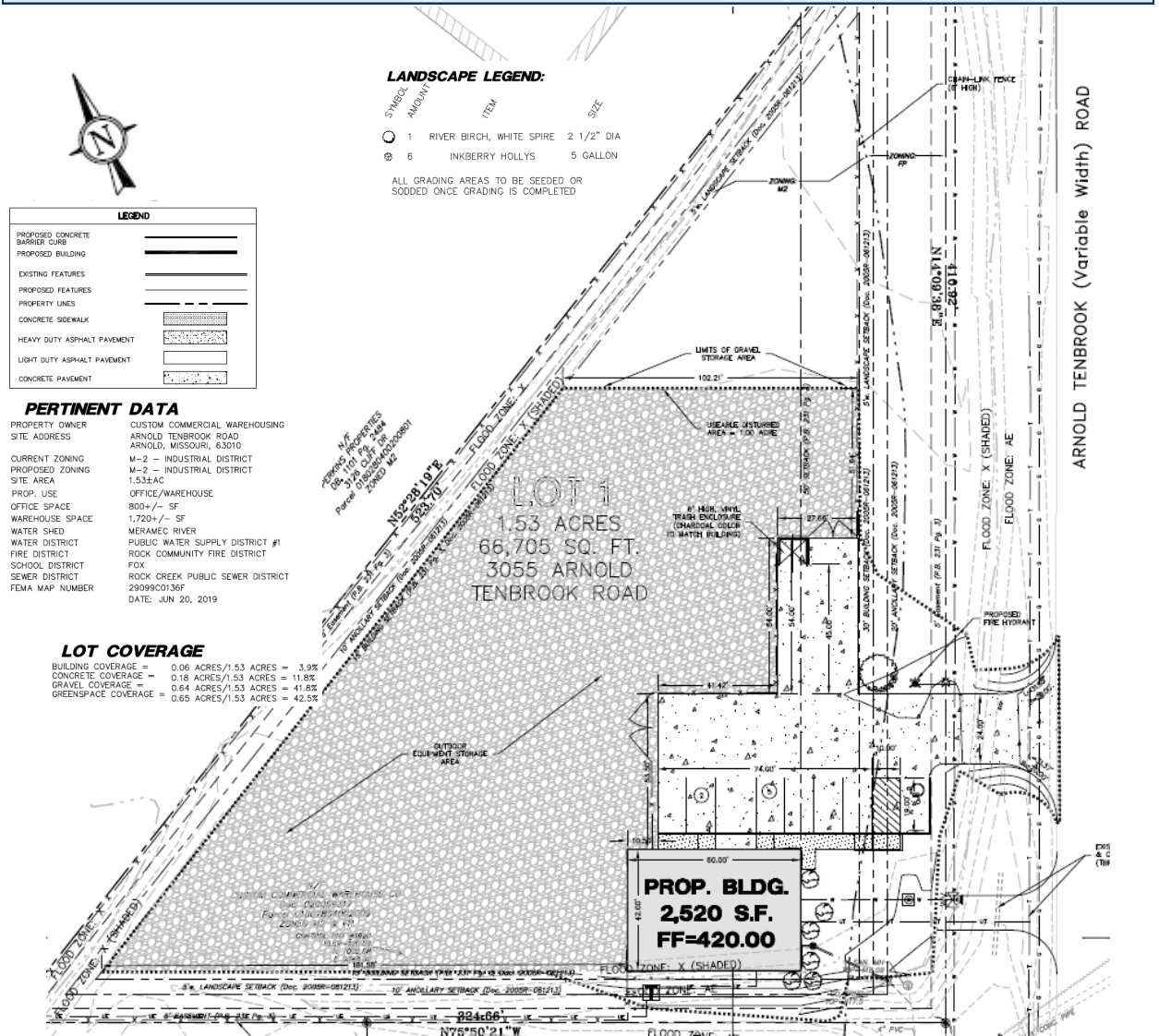


SITE PLAN REVIEW

This plan indicates the parking area to be paved, having a total of 7 spaces; 3 spaces for office staff as well as 3 for other employees, plus 1 additional space is provided. The applicant does not require a loading dock and loading spaces are not required for buildings with less than 5,000 square feet. Outdoor storage is allowed up to 60% of the gross area of the lot. The proposal is for 0.64 acres of outdoor storage, which is 41.8 % of the lot. FIGURE 1 below and applicants plans EXHIBIT E.

A lighting plan was not included within the plans submittal. Should there be a plan for exterior lighting either via pole or wall mounted; all lighting must be shielded or downcast so not to glare past lot lines or toward the fronting street. Review for compliance and approval by staff will be required of any such lighting.

FIGURE 1: SITE PLAN





REPORT TO PLANNING COMMISSION

CITY OF ARNOLD

SITE PLAN REVIEW-CONTINUED

Mechanical equipment is not specifically shown on the site plan or building elevation. Since the building has a slanted roof, visibility is not a concern. However, mechanical equipment that is exterior should be located out of street view at the rear or at the side and screened aesthetic complimentary fence and landscape material.

Landscape as shown on site plan does not meet minimum code requirements, FIGURE 1. Required is one tree per 10 parking spaces (shown) and one shrub per 20 linear feet of street exposed wall (6 are shown). The front and both sides are visible from street, equating to 152 lineal feet; so, 8 shrubs are needed.

The Proposed Building is a 2,520 SF timber-framed, 29 gauge steel sided and roofed structure. The Building plan and samples are provided and the exterior will be painted: Light Grey-Roof, Charcoal-Walls, Natural Stone Wainscot along the bottom of the front face- EAST ELEVATION and Light Gray Steel Wainscot along the bottom of side entry-NORTH ELEVATION. Colors are shown on the sample cards, FIGURE 2 and Building Elevations, Figure 3.

The SOUTH ELEVATION does not have Stone Wainscot, staff suggests this accent is include, as the side is visible from the street viewshed. Additionally, that the Stone Wainscot is used on the NORTH ELEVATION in substitute for the painted metal wainscot.

The building will be used to house an office for managers, break room for employees, as well as restrooms. The building will also serve as a shop in which trucks and equipment will be maintained and serviced.

FIGURE 3: COLORS OF BUILDING MATERIALS

Roof and Wainscot
Side entry



44 Light Gray

Exterior walls and
Wainscot Front



24 Charcoal



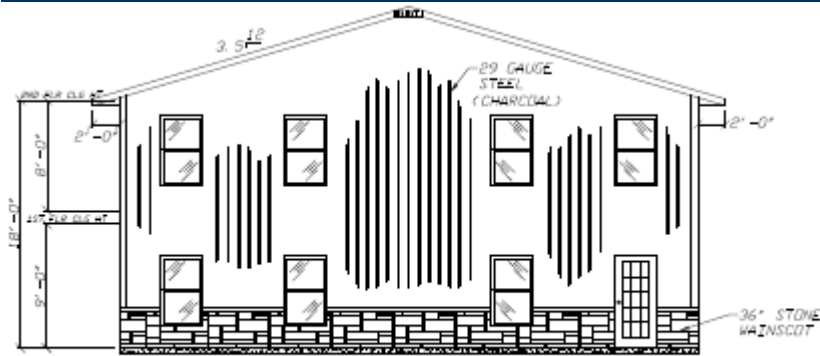
STONE WAINSCOT

REPORT TO PLANNING COMMISSION

CITY OF ARNOLD

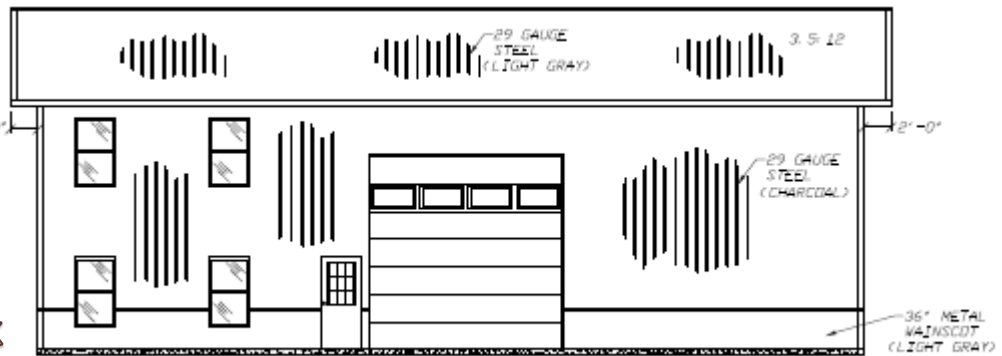


FIGURE 4: BUILDING ELEVATIONS



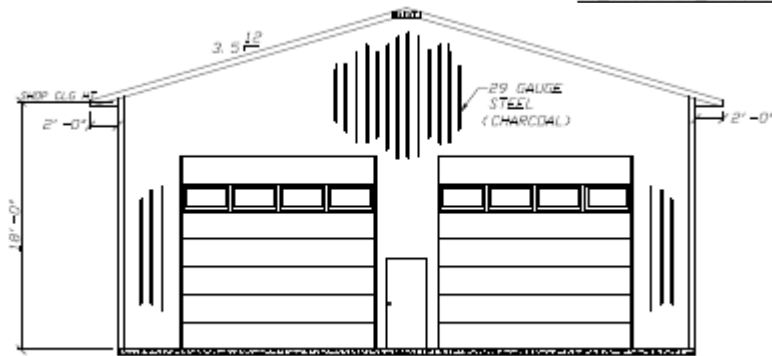
Front face,
Arnold Tenbrook

EAST ELEVATION



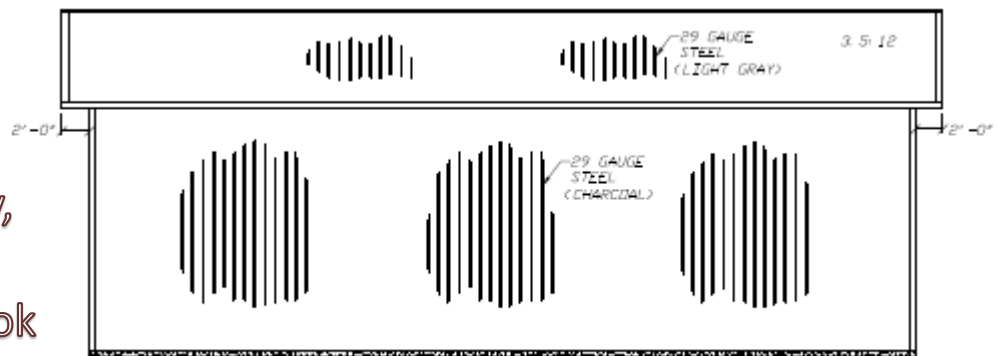
Side face,
Paved parking
Main entry,
Seen from
Arnold Tenbrook

NORTH ELEVATION



Rear face,
Gravel storage lot
And
Rear entry

WEST ELEVATION



Side,
Faced Fogarty,
Seen from
Arnold Tenbrook

SOUTH ELEVATION



REPORT TO PLANNING COMMISSION

CITY OF ARNOLD

SITE PLAN REVIEW-CONTINUED

FENCING REVIEW

The applicant desires to install a 6-foot high fence around the parcel and along a 30-foot setback from the front property line, which will be situated in the front street yard. (The 30-ft setback request and the 50-ft required front yard setback, will be discussed later in the staff report within the Fencing Appeal request.)

A 6-foot high fence is allowed upon approval from Planning Commission, subject to other code requirements of Section 405.760(S)(3)(c) shown in italics below. That being said, the fence along the front yard will need to be screened with plantings. The planting plan will be reviewed by staff.

Section 405.760(S)(3)(c) Maximum height for all fences. The maximum height of any fence or decorative post shall be six (6) feet six (6) inches within permitted locations upon approval of the Planning Commission and subject to the following conditions (at a minimum) shall be established for such requests:

- a. The increase in height shall in no way further obstruct vision for intersection streets, driveways, sidewalks or other traffic areas;*
- b. The fence shall be screened on its external side with adequate plants so as to maintain an attractive appearance to said side.*

SITE PLAN REVIEW SUMMARY

The plan is in substantial conformance with the applicable **Zoning Regulations** including:

- Height limitations for structure
- Lot area, open area and yard requirements.
- Off-street parking.

Applicable regulations of note:

- Storm Water Design Requirements of Stormwater Drainage Facilities, Rules and Regulations; This site, due to the proximity and direct discharge to the Meramec River Floodplain, does not require storm water runoff detention. Further, since the land disturbance does not exceed 1-acre so, a water quality component is not a code requirement. If there is alteration in the plan where excess of 1-acre of land disturbance then, this project will need stormwater analysis for water quality

Other Department and Agency Comments:

- Jeff DeLapp-Fire Marshal , Rock Community Fire Protection District;
A fire hydrant is needed at front entrance of site.
- Judy Wagner, Public Works Director;
A few months ago a permit was issued for a temporary entrance into this lot. The entrance and pipe will need to be removed and relocated to the plan location. We have no other comments at this time.

REPORT TO PLANNING COMMISSION

CITY OF ARNOLD



SITE PLAN RECOMMENDATION AND CONDITIONS

RECOMMENDATION:

Staff recommends the Planning Commission approve the Site Plan with the following conditions:

1. The exterior lighting plan, if any, requires staff review for compliance.
2. The mechanical equipment should be located at the rear of the building or if within street view shall be aesthetically screened.
3. The 36" Stone Wainscot shall be use on North, South and East sides of the building.
4. The landscape plan shall include 8 shrubs total.
5. The 6-foot high fence shall be allowed, given there will not be an obstruction of vision for intersection and additional plants be planned and planted as directed by staff.
6. The Planning Commission shall make a determination for the Appeal to the Fencing standards.

APPEAL TO THE FENCING STANDARDS

There is one request for an appeal to the fencing regulations contained in this application: The request for relief from Section 405.760(S)(b)(2)(c), Fences may be located on any property line abutting a side or rear yard that is not a street yard.

The required front yard setback is 50-ft from the front property line. The applicant requests to install a fence at a 30-ft front setback which would situate the fence in the required front street yard.

The appeal/variance review criteria as provided in full statements from the applicant's narrative , EXHIBIT D, in response to how this request meets the criteria are quoted below in **bold**.

Appeals to this Section must be made in writing to the Planning Commission outlining their reason for appeal and addresses the following criteria:

1. The granting of the variance will not be detrimental to the public safety, health, or welfare or injurious to other property or improvements in the neighborhood in which the property is located.

Applicant Response (1): This variance will not effect sight distance or the clear zone along Arnold Tenbrook Road and therefore does not pose any detrimental effects on the public.

2. The conditions upon which the request for a variance is based are unique to the property to which the variance is sought, and are not applicable generally to other property.

Applicant Response (2): The geometry of the property, being triangular in nature, causes a hardship that is not found with other properties in the area which, for the most part are rectangular.



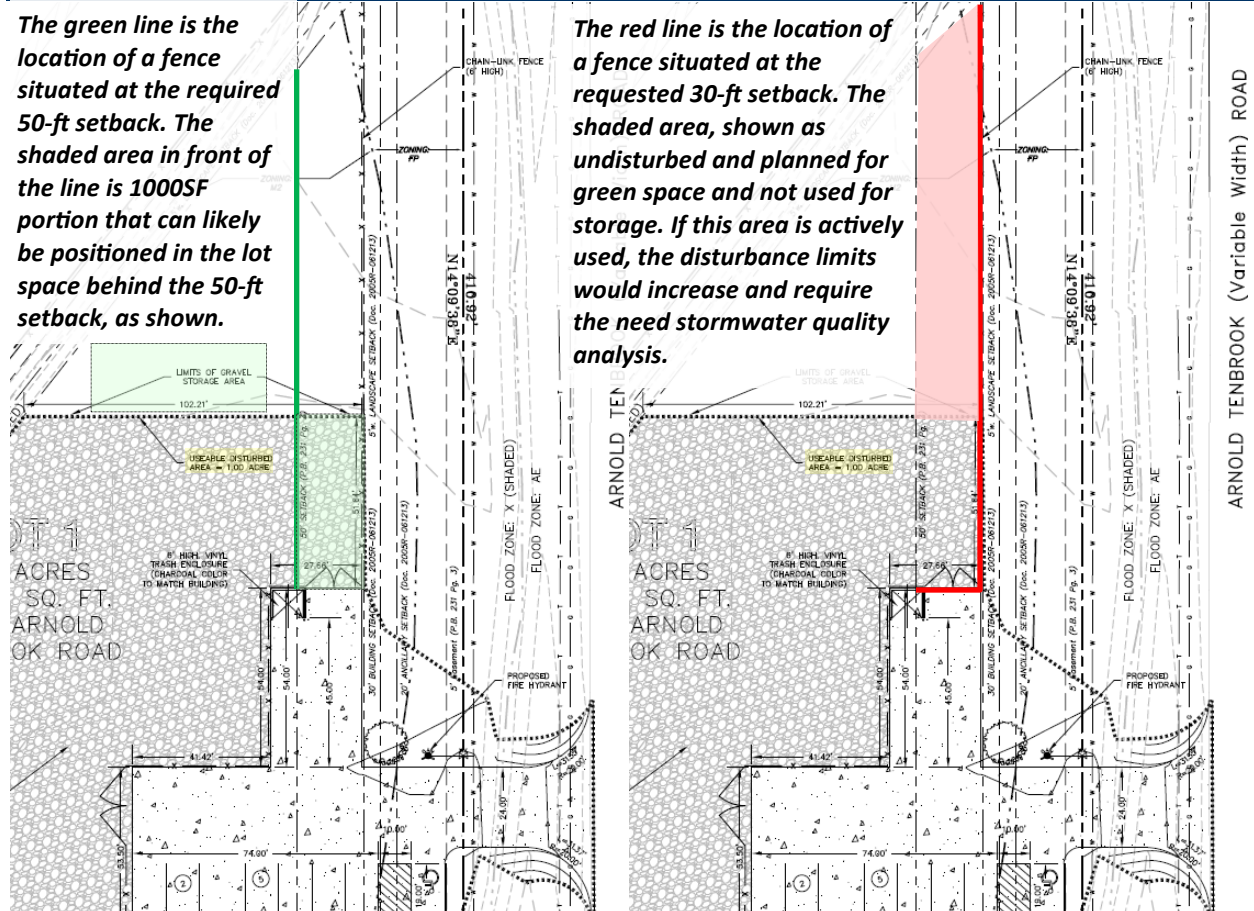
REPORT TO PLANNING COMMISSION

CITY OF ARNOLD

FIGURE 5: APPEAL TO THE FENCING STANDARDS—FENCE LAYOUT AND DETAIL

The green line is the location of a fence situated at the required 50-ft setback. The shaded area in front of the line is 1000SF portion that can likely be positioned in the lot space behind the 50-ft setback, as shown.

The red line is the location of a fence situated at the requested 30-ft setback. The shaded area, shown as undisturbed and planned for green space and not used for storage. If this area is actively used, the disturbance limits would increase and require the need stormwater quality analysis.



APPEAL TO THE FENCING STANDARDS—CONTINUED

3. Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the letter of these regulations are carried out.

Applicant Response (3): The triangular shape of the property with the side yard being along the longest side would cause a hardship in the loss of the use of such a large portion of the lot.

Staff Response: See FIGURE 5, If the fence were installed at the 50-foot required setback, the line and portion shaded green, could not be used as planned. The area in green, 1000 square-foot of gravel lot, is not excessively large and this space could likely be located behind the 50-foot setback, as shown repositioned above, adjacent to the planned gravel lot.

REPORT TO PLANNING COMMISSION

CITY OF ARNOLD



APPEAL TO THE FENCING STANDARDS—CONTINUED

Staff Response: First, staff agrees, the fence will not obstruct vision for ingress or egress of the property nor will sight distance be negatively impacted. Secondly, geometric triangular shaped parcels are not typically found with other properties in the area, as many lots are rectangular. However, it does not appear to be a hardship loss in use of a large portion of land, as explained and depicted in FIGURE 5.

It should be noted; if the shaded red portion as shown in FIGURE 5 is disturbed in the development plan, and land disturbance is in excess of 1-acre, then a stormwater quality analysis is needed and stormwater quality features may be required as part of the improvements to the site.

FINDINGS:

DETRIMENT TO PUBLIC SAFETY/HEALTH/WELFARE OR INJURY POSED TO NEARBY NEIGHBORHOODS

The granting of the variance may not be detrimental to the public safety, health, or welfare or injurious to other property or improvements in the neighborhood in which the property is located, subject to conditions.

UNIQUE CONDITIONS OF THE PROPERTY

The conditions upon which the request for a variance is based may be unique to the property to which the variance is sought, and are not applicable generally to other property, subject to conditions.

HARDSHIP

Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, there does not appear to be a particular hardship to the owner that may result, as distinguished from a mere inconvenience, if the letter of these regulations are carried out.

RECOMMENDATION:

For this request, staff recommends that the Commission decide based on the analysis, criteria and findings. The Commission's options are to Approve with Findings, Approve with conditions if any that would assist in securing the objectives or requirements of the Zoning Ordinance, or Deny with Findings.

A handwritten signature in cursive script that reads "Christie Hull Bettale".

Christie Hull Bettale
Community Development Engineer



ATTACHMENTS

EXHIBIT A: PAINT COLOR SAMPLE CARD

EXHIBIT B: STONE WAINSCOT SAMPLE

EXHIBIT C: BUSINESS OPERATIONS NARRATIVE

EXHIBIT D: APPLICANT PETITION FOR FENCE APPEAL

EXHIBIT E: SITE AND BUILDING PLANS



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***02 Bone White**



04 Brite White



06 Rural Red



08 Forest Green



10 Mocha Tan



12 Brown



14 Light Stone



16 Taupe



18 Brite Red



20 Ash Gray



22 Zinc Gray



24 Charcoal



30 Ocean Blue



32 Dark Blue



34 Black



38 Burgundy



40 Dark Bronze



**G60 30GA Bone White
Liner Panel**



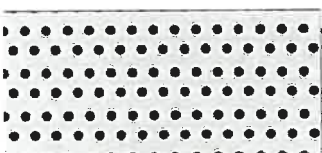
42 Vibrant Red



44 Light Gray



46 Hunter Green



**G60 30GA Bone White
Acoustic Panel



00 G90 Galvanized

The above colors are intended as an approximation of actual colors supplied.

** Perforations are .094" dia. and 3/8" center line to center line.

Check plant for availability of colors and substrates.

* Available in G40, G60, G90

EXHIBIT A



STONE WAINSCOT

Timberline Professional Tree Care, LLC is a full-service tree care contractor currently based in Pevely, Missouri. Operations include:

Tree Removal

Tree Pruning

Plant Health Care (Fertilizing, pest control, etc)

Tree installation

Mulching

Timberline intends to erect a building to house an office for Managers, break room for employees, as well as restrooms. The building will also serve as a shop in which trucks and equipment will be maintained and serviced. The other used portion of the fenced in lot will be for evening and weekend storage of trucks, trailers, and equipment that we use on jobsites every day. New plants and mulch will be temporarily stored on site, until they can be installed.

Timberline prides itself on a reputation of having the highest in ethical standards. It would be our intention to be a good neighbor, and corporate citizen, in the City of Arnold.

October 15, 2020

To: City of Arnold
2101 Jeffco Blvd.
Arnold, MO 63010

Attn.: Christie Hull-Bettale

Re: Lot 1 JK Miller
(Our Project No. 3488)

RECEIVED OCT 15 2020

Dear Christie:

Our Client, Timberline Professional Tree Care, LLC, would respectfully request an approval of an appeal to the Street Yard Fencing requirement in order to place the proposed fence within the street yard. Our Client feels that the loss of this area would affect the viability of their operations.

- The granting of the variance will not be detrimental to the public safety, health, or welfare or injurious to other property or improvements in the neighborhood in which the property is located. This variance will not effect sight distance or the clear zone along Arnold Tenbrook Road and therefore does not pose any detrimental effects on the public.
- The conditions upon which the request for a variance is based are unique to the property to which the variance is sought, and are not applicable generally to other property. The geometry of the property, being triangular in nature, causes a hardship that is not found with other properties in the area which, for the most part are rectangular.
- Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the letter of these regulations are carried out. The triangular shape of the property with the side yard being along the longest side would cause a hardship in the loss of the use of such a large portion of the lot.

If you have any questions or require additional information, please feel free to contact us.

Sincerely,
Grimes Consulting, Inc.

Kent A. Nurnberger

Kent A. Nurnberger, P.E.
Project Engineer

DIFFERENTIAL CALCULATIONS

(DISTURBED AREA=2.76 ACRES)
 ROOF:
 ● 4.20 cfs PER ACRE 0.00 Ac. = 0.00 cfs
 PAVEMENT:
 ● 3.54 cfs PER ACRE 0.00 Ac. = 0.00 cfs
 GRASS:
 ● 1.70 cfs PER ACRE 1.53 Ac. = 2.60 cfs
 TOTAL = 2.60 cfs

PROPOSED:(DISTURBED AREA=2.76 ACRES)
 ROOF:
 ● 4.20 cfs PER ACRE 0.06 Ac. = 0.25 cfs
 PAVEMENT:
 ● 3.54 cfs PER ACRE 0.18 Ac. = 0.64 cfs
 GRASS:
 ● 1.70 cfs PER ACRE 1.29 Ac. = 2.19 cfs
 TOTAL = 3.08 cfs

PROPOSED - EXISTING = DIFFERENCE
 3.08 cfs - 2.60 cfs = 0.48 cfs
 0.48 cfs < 2.0 cfs

NOTE: - PER MSD REQUIREMENTS, DETENTION IS NOT REQUIRED.
 - DISTURBED AREA IS LESS THAN 1 ACRE, THEREFORE
 WATER QUALITY TREATMENT IS NOT REQUIRED.

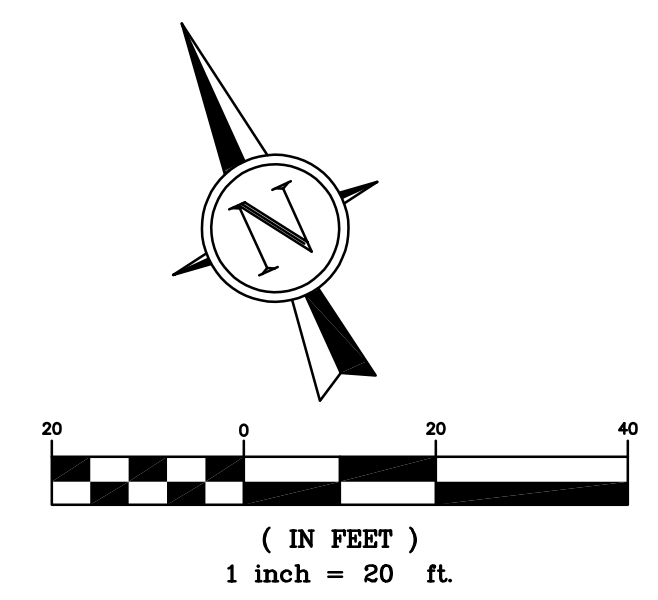
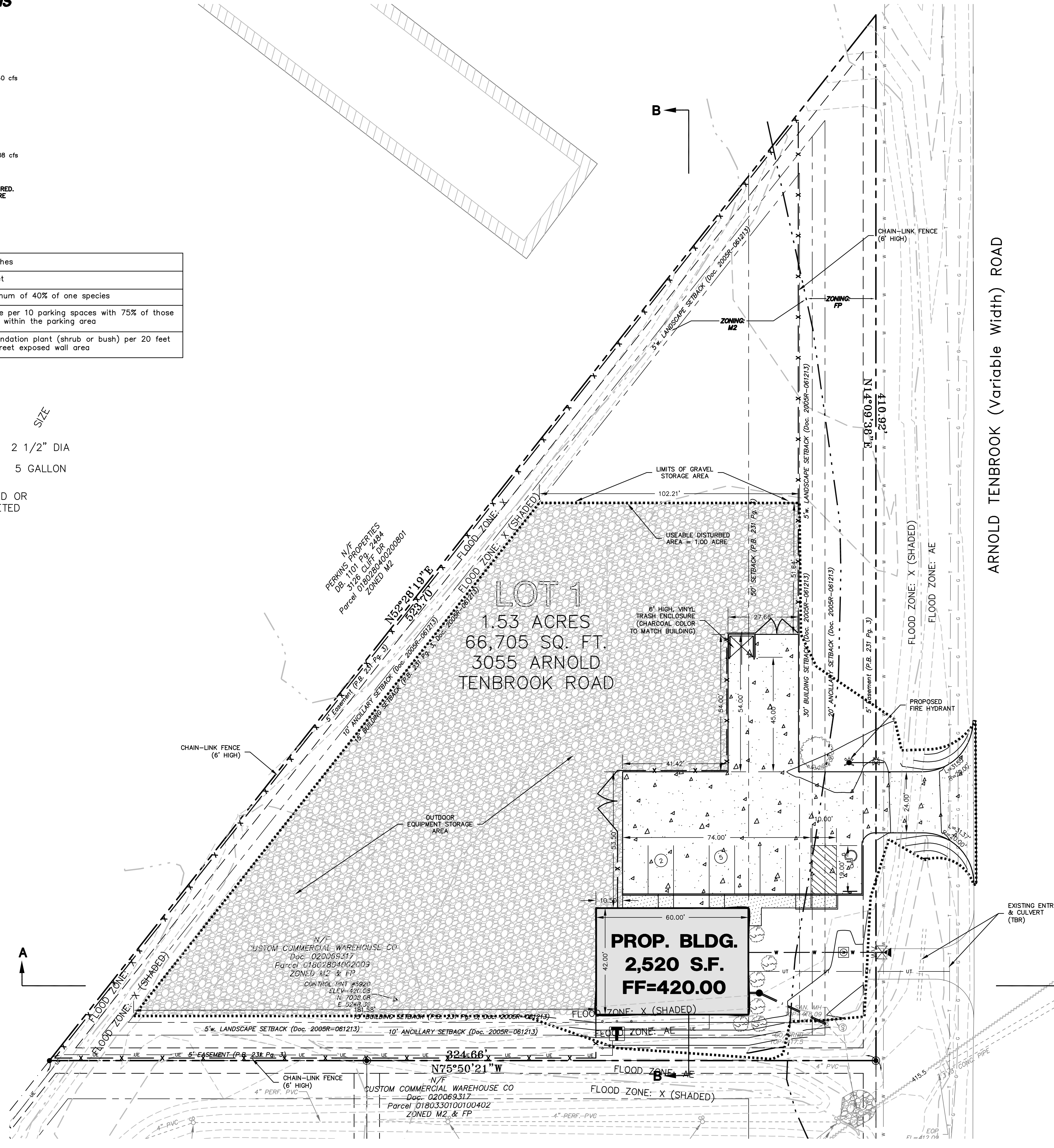
LANDSCAPE NOTES:

Minimum caliper for deciduous trees:	2 inches
Minimum height for coniferous trees:	6 feet
Tree mix:	Maximum of 40% of one species
Distribution:	1 tree per 10 parking spaces with 75% of those trees within the parking area
	1 foundation plant (shrub or bush) per 20 feet of street exposed wall area

LANDSCAPE LEGEND:

SYMBOL	AMOUNT	ITEM	SIZE
○	1	RIVER BIRCH, WHITE SPIRE	2 1/2" DIA
⊗	6	INKBERRY HOLLYS	5 GALLON

ALL GRADING AREAS TO BE SEEDED OR SODDED ONCE GRADING IS COMPLETED



PARKING SUMMARY

PARKING REQUIRED:	
OFFICE: 1 PS PER 300 SF	800 SF/300 SF * 1 PS = 3 PS
WAREHOUSE: 1 PS PER 1.5 EMPLOYEES 1 PS PER OPERATIONAL VEHICLE	1 PS/1.5 EEMPL. * 4 EEMPL. = 3 PS 1 PS * 0 VEHICLES = 0 PS
TOTAL REQUIRED = 6 STALLS	
PARKING PROVIDED: 7 TOTAL STALLS PROVIDED	
MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED = 1, WHERE THE TOTAL NUMBER OF SPACES IS BETWEEN 1 AND 25, PER ADAAG. NUMBER OF ACCESSIBLE SPACES PROVIDED = 1.	

LEGEND

PROPOSED CONCRETE BARRIER CURB	———
PROPOSED BUILDING	▬▬▬
EXISTING FEATURES	———
PROPOSED FEATURES	———
PROPERTY LINES	———
CONCRETE SIDEWALK	▨▨▨
HEAVY DUTY ASPHALT PAVEMENT	▧▧▧
LIGHT DUTY ASPHALT PAVEMENT	▩▩▩
CONCRETE PAVEMENT	▪▪▪

PERTINENT DATA

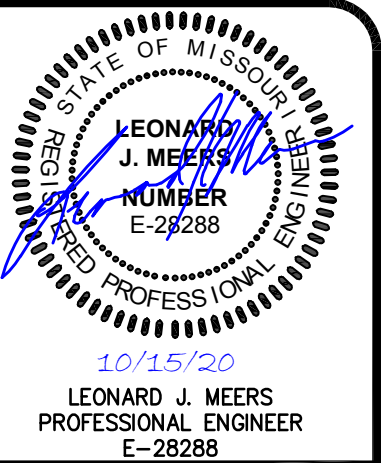
PROPERTY OWNER	CUSTOM COMMERCIAL WAREHOUSING
SITE ADDRESS	ARNOLD TENBROOK ROAD ARNOLD, MISSOURI, 63010
CURRENT ZONING	M-2 - INDUSTRIAL DISTRICT
PROPOSED ZONING	M-2 - INDUSTRIAL DISTRICT
SITE AREA	1.53±AC
PROP. USE	OFFICE/WAREHOUSE
OFFICE SPACE	800+/- SF
WAREHOUSE SPACE	1,720+/- SF
WATER SHED	MERAMEC RIVER
WATER DISTRICT	PUBLIC WATER SUPPLY DISTRICT #1
FIRE DISTRICT	ROCK COMMUNITY FIRE DISTRICT
SCHOOL DISTRICT	FOX
SEWER DISTRICT	ROCK CREEK PUBLIC SEWER DISTRICT
FEMA MAP NUMBER	29099C0136F
DATE:	JUN 20, 2019

LOT COVERAGE

BUILDING COVERAGE =	0.06 ACRES/1.53 ACRES = 3.9%
CONCRETE COVERAGE =	0.18 ACRES/1.53 ACRES = 11.8%
GRAVEL COVERAGE =	0.64 ACRES/1.53 ACRES = 41.8%
GREENSPACE COVERAGE =	0.65 ACRES/1.53 ACRES = 42.5%

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Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMO.



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 PE COA# E-1470-D
 PLS COA# LS-343-D

REV. NO.	DATE	REMARKS

PRELIMINARY PLANS FOR
LOT 1 JK MILLER
 ARNOLD TENBROOK ROAD ARNOLD, MISSOURI, 63010

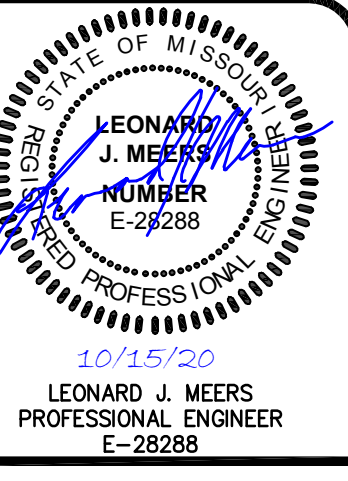
SITE PLAN

JOB NUMBER:	3488
DRAWN BY:	KAN
DATE:	09/14/20
CHECKED BY:	LJM
DATE:	09/14/20
SHEET:	C1.0

C1.0

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PREPARED FOR:
TIMBERLINE TREE CARE, INC.
 CONTACT: BEN BARNETT
 3670 RICE ROAD
 PEVELY, MISSOURI 63070
 PH: (636) 209-8139



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REV. NO.	DATE	REMARKS
1		
2		
3		
4		

PRELIMINARY PLANS FOR
LOT 1 JK MILLER
ARNOLD TENBROOK ROAD ARNOLD, MISSOURI, 63010

SHEET TITLE
SITE DETAILS

JOB NUMBER: 3488

DRAWN BY: KAN

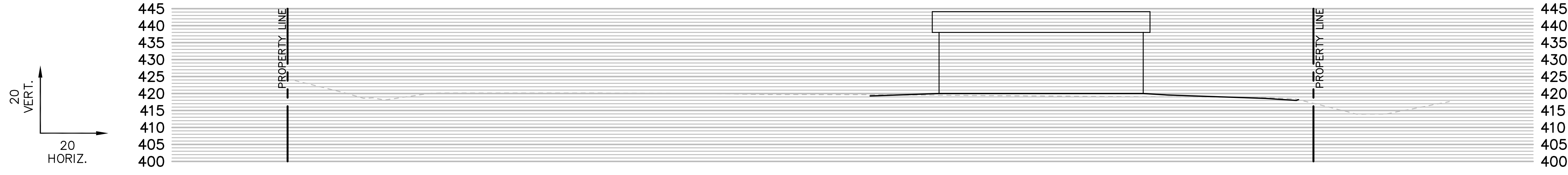
DATE: 09/14/20

CHECKED BY: LJM

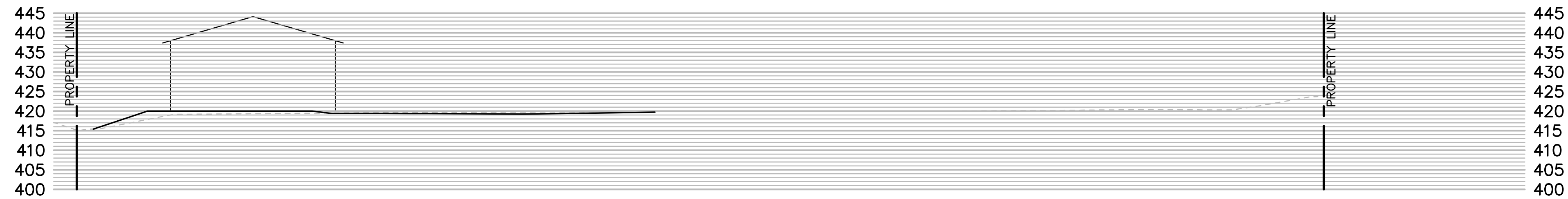
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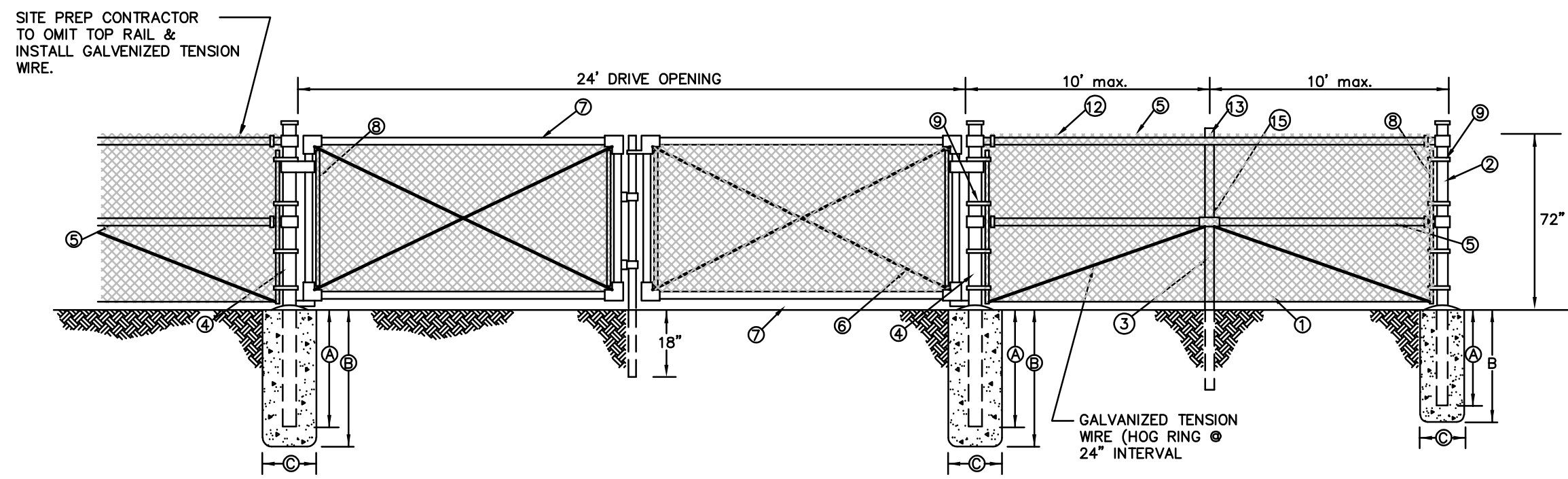
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SITE SECTION A-A



SITE SECTION B-B



CHAIN-LINK FENCE DETAIL

GENERAL NOTES:

- DO NOT SCALE DRAWING. FOLLOW DIMENSIONS.
- MATERIAL SHALL BE EITHER ZINC COATED STEEL, ALUMINUM COATED STEEL, ALUMINUM ALLOY, OR VINYL COATED STEEL FENCING.
- WEIGHTS OF MATERIALS SHOWN IN TABLE ARE FOR STEEL SIZES. SHOWN ARE APPLICABLE FOR ALL MATERIALS.
- PULL POSTS SHALL BE USED AT SHARP BREAKS IN VERTICAL GRADE OR AT APPROXIMATE 50' CENTERS ON STRAIGHT RUNS OR AS DIRECTED BY THE ENGINEER.
- DRILLED HOLES C IN SOLID ROCK SHALL PROVIDE A DIAMETER OF NOT LESS THAN TWO INCHES GREATER THAN THE MAXIMUM TRANSVERSE DIMENSION OF THE POST SECTION.
- ALTERNATE FOR TOP RAIL AND BRACE 5 MAY BE TUBULAR 1-5/8" O.D. (±.005") AT 1.35 POUNDS PER FOOT (TOLERANCE - 5%; + NO LIMIT).
- CONCRETE FOR FOOTINGS SHALL BE CLASS B. A QUICK SETTING POLYURETHANE FOAM MAY BE USED IN LIEU OF CONCRETE FOR LINE POST OR LINE POST MAY BE DRIVEN AS SHOWN ON THE PLANS.
- GATE STOPS AND THE DIRECTION OF SWING SHALL BE DETERMINED BY THE CONTRACTOR.

USE THIS FENCE FOR THIS PROJECT

DESCRIPTION	HEIGHT OF FENCE 48"		HEIGHT OF FENCE 60"		HEIGHT OF FENCE 72"		HEIGHT OF FENCE 86"		
	SIZE	#/FT.	SIZE	#/FT.	SIZE	#/FT.	SIZE	#/FT.	
2 END CORNER & PULL POST	2"	3.65	2-1/2"	5.79	2-1/2"	5.79	2-1/2"	5.79	
3 LINE POST	36"x10"	2.72	42"x12"	3.65	42"x12"	3.65	42"x12"	3.65	
4 GATE POST * (SINGLE GATE OR 1 LEAF OF DOUBLE) WIDTH OVER 18'	ROUND	1-1/2"	2.72	2"	3.65	2"	3.65	2"	3.65
	H-SECT.	2.25" x 1.625"	3.26	2.25" x 1.95"	3.26	5" x 1.95"	3.26	5" x 1.95"	3.26
5 TOP RAIL AND BRACE	(A)	24"	2.27	27"	2.27	36"	2.27	36"	2.27
	(B) (C)	30"x10"	2.72	36"x12"	3.65	42"x10"	2.72	42"x10"	2.72
6 GATE POST * (SINGLE GATE OR 1 LEAF OF DOUBLE) WIDTH OVER 18'	2"	3.65	2-1/2"	5.79	2-1/2"	5.79			
	3-1/2"	5.79	3-1/2"	9.10	3-1/2"	9.10			
	6"	18.97	6"	18.97	6"	18.97			
7 TRUSS ROD	1-1/4"	2.27	1-1/4"	2.27	1-1/4"	2.27	1-1/4"	2.27	
	3/8"	2.72	3/8"	2.72	3/8"	2.72	3/8"	2.72	
8 GATE FRAME	ALL WIDTHS	1-1/2" β	2.72	1-1/2" β	2.72	1-1/2" β	2.72	1-1/2" β	2.72

- LEGEND**
- FABRIC
 - END, CORNER OR PULL POST
 - LINE POST
 - GATE POST
 - TOP RAIL & BRACE GALVANIZED TENSION WIRE
 - TRUSS ROD
 - GATE FRAME
 - STRETCHER BAR - 1/4"x3/4" PI.
 - STRETCHER BAR BAND
 - END OR CORNER CLAMP
 - POST TOPS - OTHER THAN LINE POST
 - FABRIC TIES
 - LINE POST TOPS
 - 1/2" FABRIC HEIGHT OR AS RECOMMENDED BY MFR.
 - EXPANSION SLEEVE

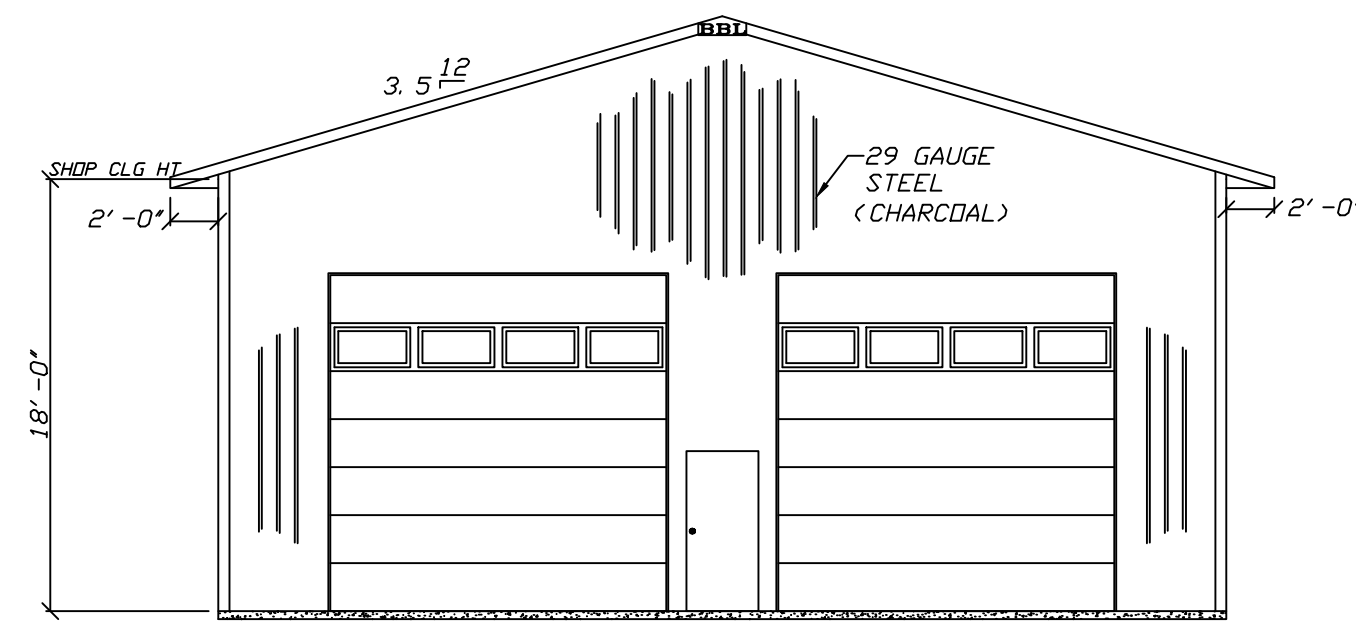
CHAIN-LINK FENCE DETAIL

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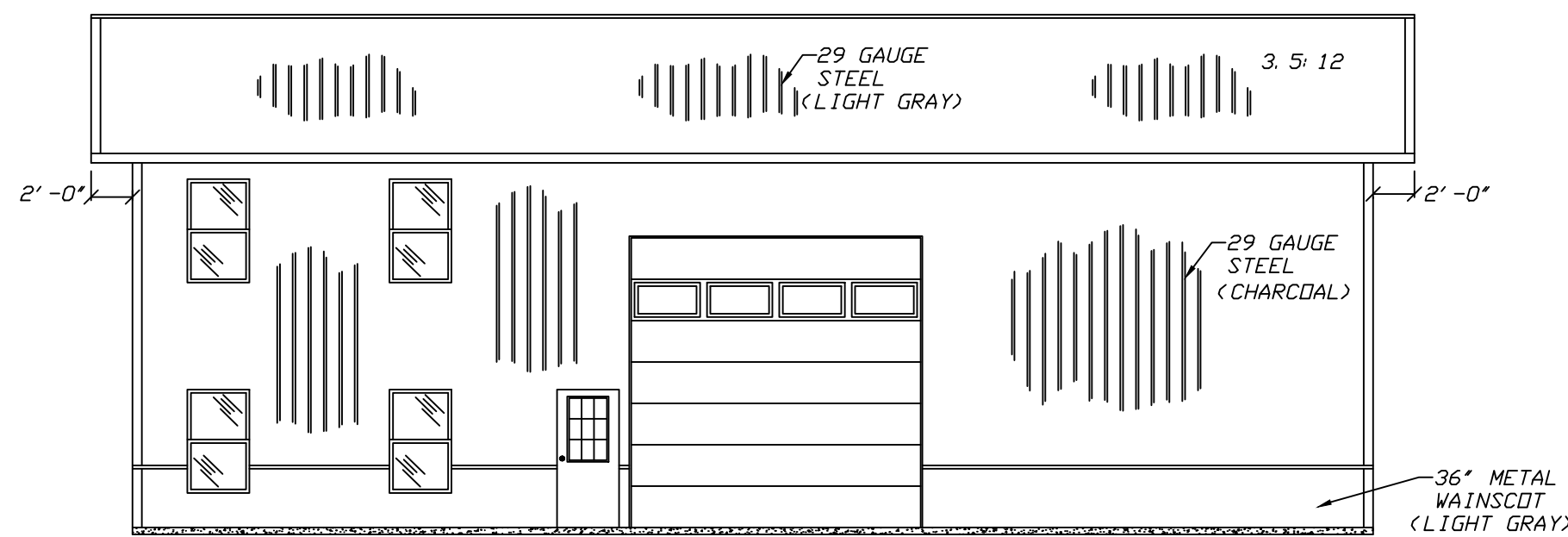
PREPARED FOR:
TIMBERLINE TREE CARE, INC.
CONTACT: BEN BARNETT
3670 RICE ROAD
PEVELY, MISSOURI 63070
PH: (636) 209-8139

STATEMENT
 BBL has designed the shell of this building in accordance to the desires of the owners. Final interior finish is the sole obligation of the owner. Owner understands and verifies that he/she will make the final finish in accordance to minimum life safety standards. Owner further states that BBL is NOT responsible for providing guidance in fulfilling these needs and owner assumes full responsibility for completing the interior in accordance with minimum life safety standards.

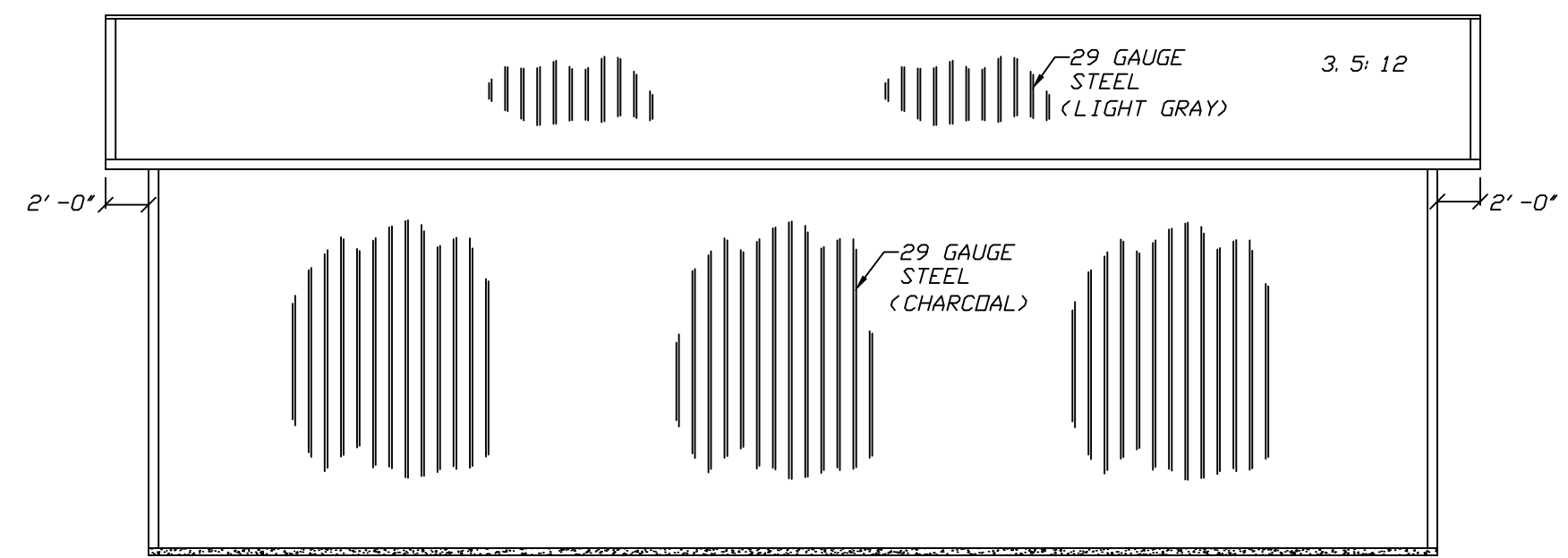
Signed _____ Date: _____



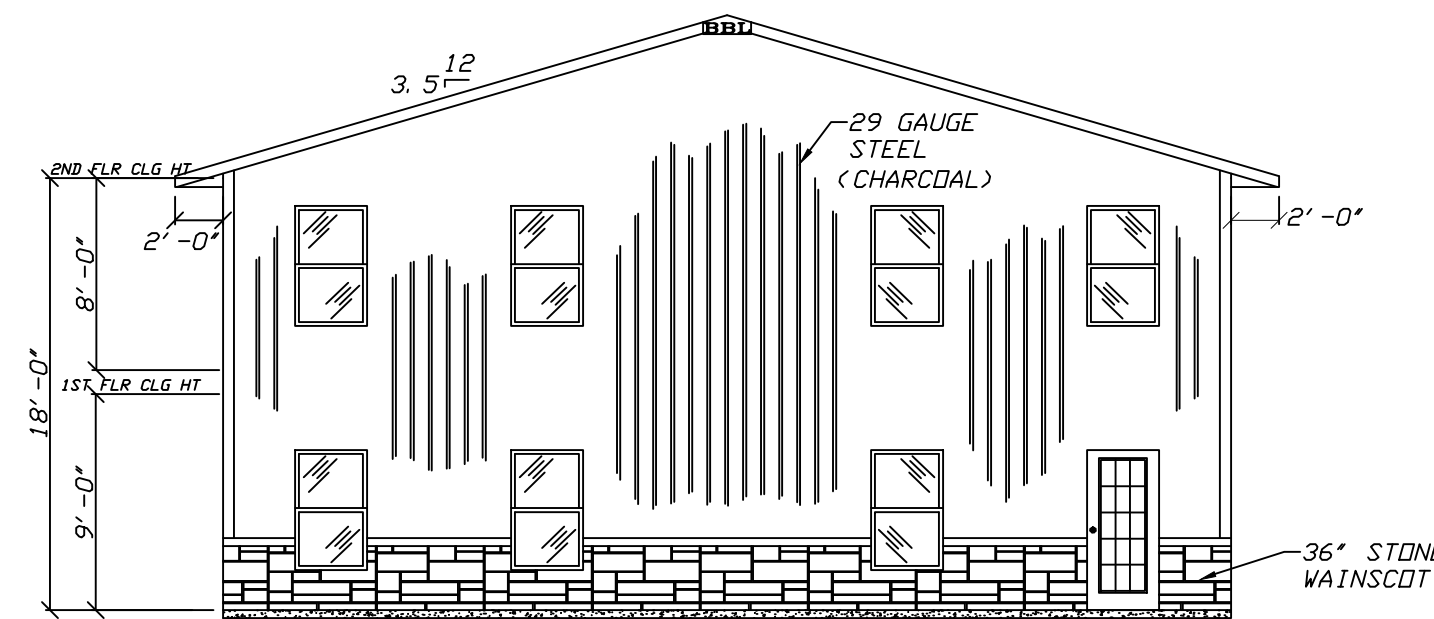
WEST ELEVATION
 SCALE: 1/8"=1'



NORTH ELEVATION
 SCALE: 1/8"=1'



SOUTH ELEVATION
 SCALE: 1/8"=1'



EAST ELEVATION
 SCALE: 1/8"=1'

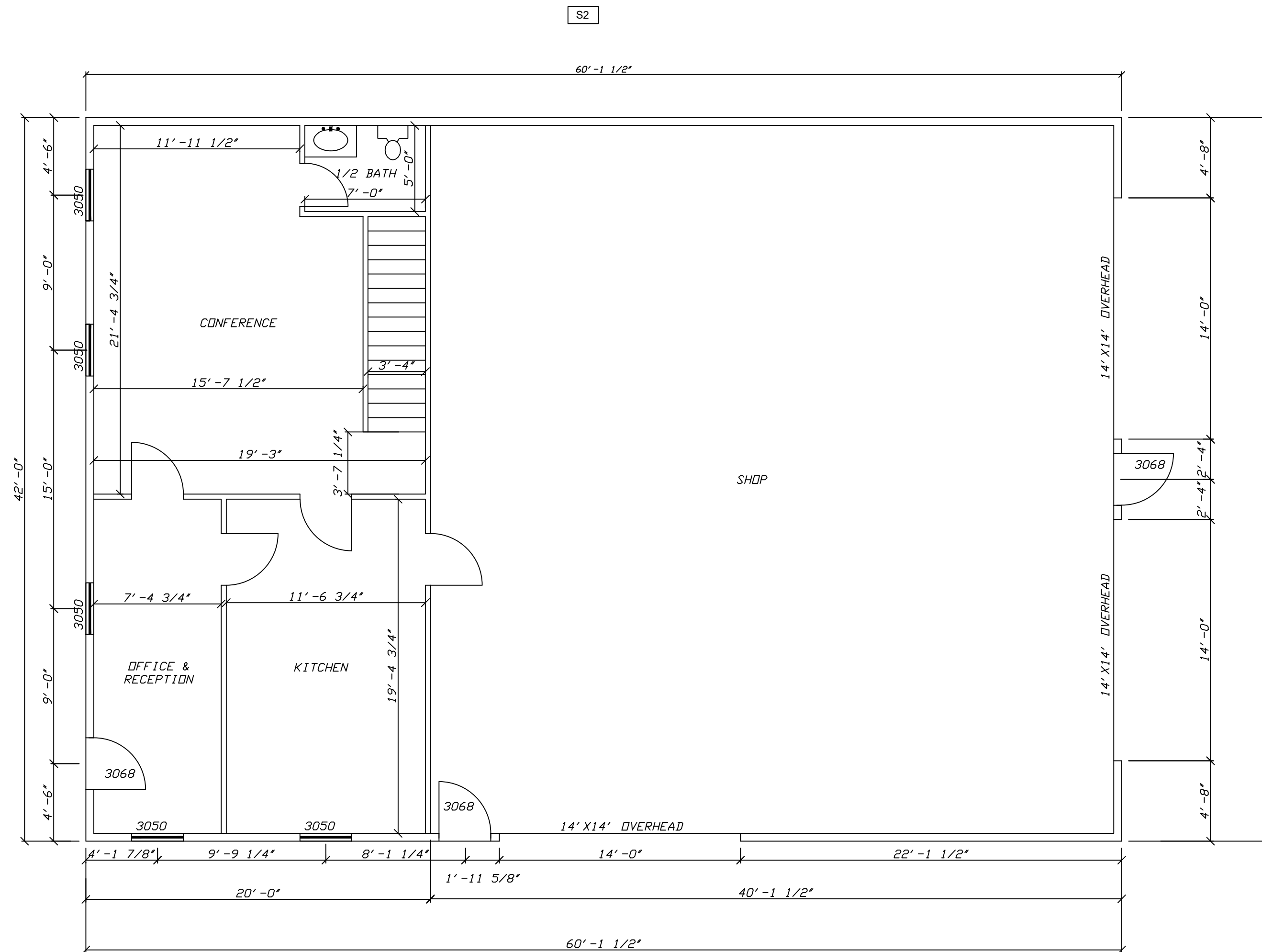
NOTE: 29 GAUGE PAINTED STEEL ON ROOF AND SIDES. ALL FRAMING LUMBER IS #1 SOUTHERN YELLOW PINE LUMBER UNLESS NOTED.

BBL: Not A Registered Architect

USE GROUP S-1 CONST. TYPE 5B	
BBL BBL CONSTRUCTION INC.	
3966 PCR 806 PERRYVILLE, MISSOURI 63775 PHONE 573-547-8363	
PROJECT: ELEVATIONS	JOB #
FOR: TIMBERLINE PROFESSIONAL TREE CARE 2	
ADDRESS:	of
DATE DRAWN: 9/22/20	DRW. BY: AMT
INTENDED USE: STORAGE	SCALE: NOTED
DATE REVISED:	FILE NO.

STATEMENT
 BBL has designed the shell of this building in accordance to the desires of the owners. Final interior finish is the sole obligation of the owner. Owner understands and verifies that he/she will make the final finish in accordance to minimum life safety standards. Owner further states that BBL is NOT responsible for providing guidance in fulfilling these needs and owner assumes full responsibility for completing the interior in accordance with minimum life safety standards.

Signed _____ Date: _____



FLOOR PLAN
 SCALE: 3/16"=1'

NOTE: 29 GAUGE PAINTED STEEL ON ROOF AND SIDES. ALL FRAMING LUMBER IS #1 SOUTHERN YELLOW PINE LUMBER UNLESS NOTED.

BBL: Not A Registered Architect

USE GROUP S-1 CONST. TYPE 5B	
BBL BBL CONSTRUCTION INC.	
3966 PCR 806 PERRYVILLE, MISSOURI 63775 PHONE 573-547-8363	
PROJECT: 42X60X18	JOB #
FOR: TIMBERLINE PROFESSIONAL TREE CARE	1
ADDRESS:	of
DATE DRAWN: 9/22/20	
INTENDED USE: STORAGE	SCALE: NOTED
DATE REVISED:	FILE NO.